

### Chapter 5. Residential Development Standards

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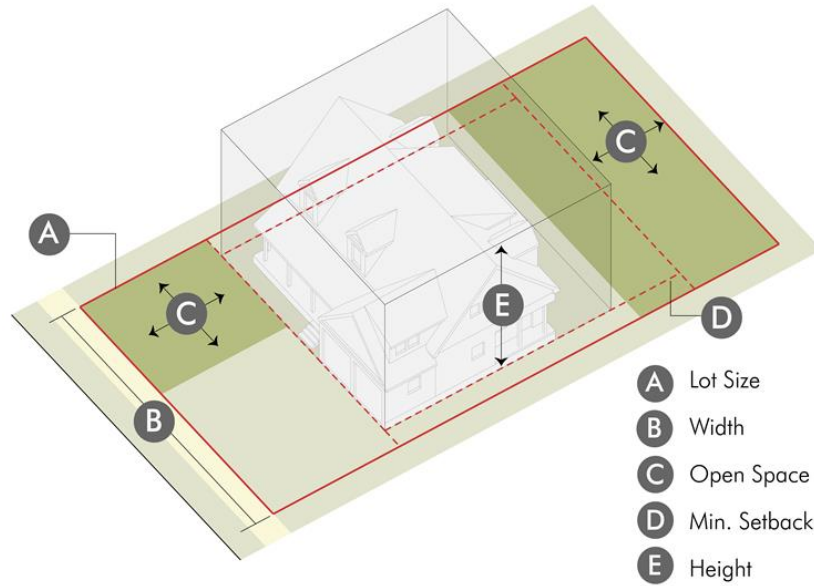
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#### 24-501 Intent & Applicability

- a. **Intent.** The Residential Development Standards have the following intent.
1. Improve the appearance and livability of neighborhoods with good civic design, and reinforce the distinct character of different neighborhoods based on their context.
  2. Design and locate parks, trails and other open spaces as focal points that shape neighborhood character.
  3. Design walkable neighborhood streetscapes, with slow traffic speeds, well-connected sidewalks, and shade and enclosure provided by street trees.
  4. Orient all buildings and lots to the public street or to common open spaces that serve as an extension of the streetscape and public realm.
  5. Promote human-scale buildings and create active social spaces along the streetscape.
  6. Provide housing variety within neighborhoods and among different neighborhoods, and ensure compatible transitions between different building types.
  7. Promote lasting and sustained investment in neighborhoods with quality design.
- b. **Applicability.** The standards in this Chapter provide lot, building development, and design standards, and generally apply to all residential development except:
1. Where stated, some sections may only apply to specific building types, specific districts or specific scales of projects;
  2. The Character Overlay established according to Section 24-1007 may modify standards for a particular area;
  3. Residential development may be further impacted by the standards for Areas of Ecological Significance in Section 24-1004 or Hillside Development Standards in Section 24-1009; or
  4. Any use-specific standards in Chapter 4 may require a more specific or different standard for a particular use.

#### 24-502 Residential Development Standards

- a. **Building Types and Lot Standards.** The development standards for residential districts shall be based on the different building types permitted in each district, as specified in Table 24-5-1, Residential District Building Type & Lot Standards. The design standards in other sections of this article may further specify the design and location of each building type in a specific context.



**Figure 24-5-1 Building Types**

Building types in Table 24-5-1 are distinguished based on lot sizes, unit configuration, building footprints and massing, building placement, and lot open space. This diagram illustrates the key elements standards in Table 24-5-1 applied to a typical lot.



**Figure 24-5-2 Range of Building Types**

Each zoning district allows a range of building types that are compatible based on the building scale, frontage design, and intent of the specific zoning district. The R-H zoning district allows the greatest range of building types, each specifically defined by the standards of Table 24-5-1: Residential Building Type & Lot Standards.

Table 24-5-1: Residential Building Type & Lot Standards

Zoning Districts						Building / Lot Types	# of Primary Units	Development Standards							
H-A	R-E	R-L	R-M	R-H	R-MH			Area	Width [1]	Lot Open Space	Front [2]	Interior Side	Corner Side [1]	Rear	Building Height
■						Agriculture Acreage	1	40 + ac.	300'+	n/a	35'	25'	25'	50'	30'
	■	■	■	■		Detached House – Estate Lot	1	13K + s.f.	100'+	30%	25'	5'	15'	20'	30'
		■	■	■		Detached House – Standard Lot	1	6K + s.f.	60' – 99'	30%	25'	5'	15'	20'	30'
		■	■	■		Detached House – Medium Lot	1	4.5K + s.f.	45' – 59'	25%	25'	5'	10'	20'	30'
			◇	■		Detached House – Small Lot	1	3K + s.f.	35' – 44'	20%	10'	5'	10'	20'	30'
			◇	◇	■	Detached House – Small Format	1	1.5K + s.f.	25' – 34'	15%	10'	3'	8'	10'	40'
			■	■		Multi-unit House – Standard Lot	2-4	6.5K + s.f. 2K s.f. per unit	60' - 99'	25%	25'	5' [3]	10'	20'	30'
			■	■		Multi-unit House – Medium Lot	2-3	4.5K + s.f. 2K + per unit	45 – 59'	20%	25'	5' [3]	10'	20'	30'
				■		Multi-Unit House – Small Lot	2	3K + s.f.	35' – 44'	15%	10'	5' [3]	10'	20'	30'
			■	■		Row House – Standard Lot	3-8	1.5K + s.f. per unit	21' – 30' per unit	12%	10'	5' [3, 4]	10'	10'	40'
				■		Row House – Small Lot	3-8	1K + sf. per unit	14' – 20' per unit	10%	10'	5' [3, 4]	10'	10'	40'
			◇	■		Apartment – Small Lot	3-12	4.5K – 10K s.f.	40' – 79'	10%	10'	5' [4]	10'	10'	40'
				■		Apartment – Medium Lot	13-24	10K – 30K s.f.	80' – 150'	15%	10'	5' [4]	5'	10'	50'
				□		Apartment – Large Lot	25+	30K s.f. – 2 ac.	150'+	20%	25'	10' [4]	15'	10'	70'
				■		Apartment – Complex. Medium	29 du / ac.	2 ac. – 5 ac.	150' +	25%	25'	10' [4]	10'	20'	40'
				□		Apartment – Complex. Large	45 du / ac.	5 + ac.	300' +	30%	25'	20'	20'	25'	60'
□	□	□	□	□	□	Civic		30K + s.f.	100' +	40%	25'	5'	20'	20'	40'
■	■	■	■	■	■	Accessory Buildings		See Residential Accessory Buildings in Section 24-502.c							
			■	■		Accessory Buildings		See 24-403.b. for ADUs							

■ Allowed

◇ Limited to projects that meet the housing diversity requirements of Section 24-502.d.

□ Civic buildings and uses, and Apartments – Large Lot or Large Complexes shall only be located on collector or arterial streets in residential districts.

Zoning Districts: H-A Holding-Agriculture; R-E Residential Estate; R-L Residential Low Density; R-M Residential Medium Density; R-H Residential High Density; R-MH Residential Micro-Housing

[1] Corner lots shall add at least 5' to the required lot width. Otherwise, lot width ranges shall determine the applicable building type standards within a category

[2] Front setbacks shall be modified based on context and the Frontage Design standards in 24-503.b.

[3] Rowhouses and side-by-side Multi-unit Houses (i.e. duplex), may be platted for individual ownership of the unit and lot, with a 0' interior side setback as provided in section 24-502.b.1.(a).

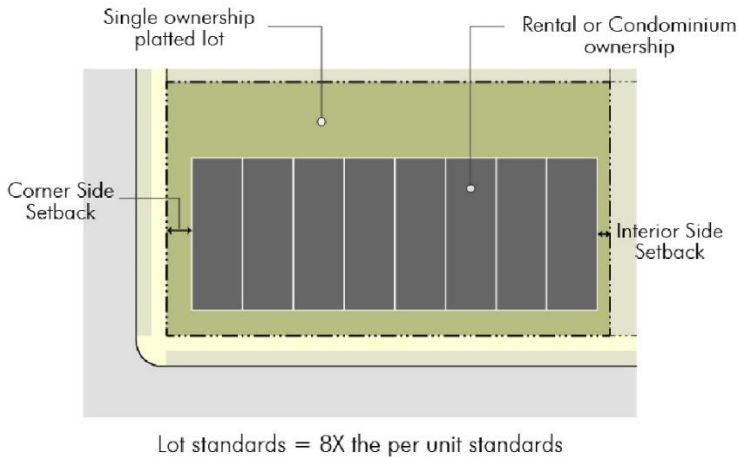
[4] Row Houses, Small Apartments, and Medium Apartments shall have a 10' side setback when abutting lots with a detached house; Large Apartments / Apartment Complexes shall have a 20' side setback when abutting lots with a detached house.

[5] Buildings that require a certificate of occupancy shall be setback at least 250' from an oil/gas facility, and 50' from a well that has been plugged and abandoned. Buildings that do not require a certificate of occupancy shall be setback 150' from a tank battery or oil/gas well (unless plugged and abandoned). See Section 24-1102 Oil & Gas.

b. **Dimension Exceptions.** The following are exceptions to setback and building dimensions standards established in Table 24-5-1: Residential Building Type & Development Standards.

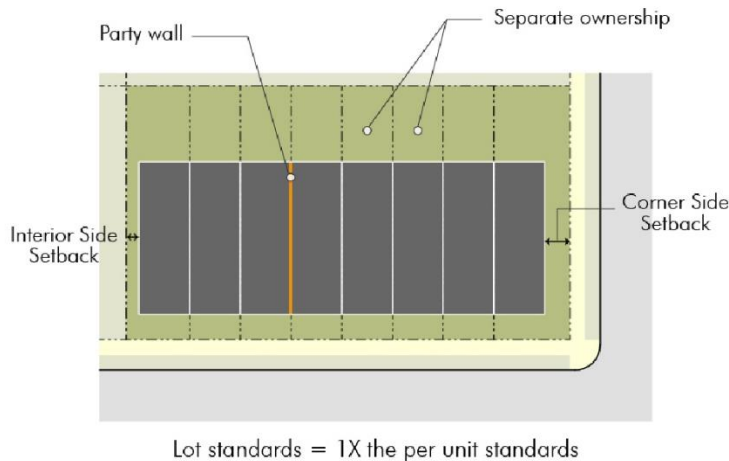
1. *Lot and Building Configurations.*

- (a) Row Houses and side-by-side Multi-unit Houses (i.e. duplexes) may be configured as a single project, provided the lot and building cumulative meet any per lot standards; or as individual lots with a 0-foot interior side setback, provided the building includes a party wall meeting building code standards. Individual ownership of units on a commonly owned lot are subject to the platting requirements in 24-202.
- (b) Side lot easements between abutting lots may be granted in association with a plat to have the effect of “zero lot line” patterns. Easements for exclusive use of the side yard may be granted to the abutting owner to meet the lot open space requirements and design standards in Section 24-503 for the grantee, yet maintain the required setbacks from the platted lot line for each building in Table 24-5-1 for the grantor. Easements shall be private agreements and account for all access and maintenance scenarios for the lots, open space, and buildings.
- (c) The front setbacks for each building may be modified according to the frontage types and Frontage Design Standards in Section 24-503.b.
- (d) Lots may be configured in a Courtyard Pattern as provided in Section 24-505.



**Figure 24-5-3 Row House & Duplex Lot Standards**

*The building and lot standards for Row Houses or Side-by-side Multi-unit Houses (duplexes) can be applied to allow the same building configuration to be owned as individual lots and units (platted 0' party wall), owned as individual units on a common lot (condominium), or owned as a single project (rental of units), subject to required platting procedures. (24-502.b.1.(a))*





**Figure 24-5-4 Side Lot Easements**

Side lot easements may be used to provide more contiguous areas to meet the lot open space requirements, and have the effect of a zero lot line configuration. (24-502.b.1.(b))

2. **Setback Encroachments.** The following encroachments into the required setback are permitted, except in no case shall this authorize structures that violate the provisions of any easement.
  - (a) Primary entrance features may encroach beyond the required front building line, as specified in Section 24-503.b.
  - (b) Structural projections such as bay windows, balconies, canopies, chimneys, eaves, cornices, open fire escapes, egress wells, or other non-foundational overhangs or projections may extend up to 4 feet from the foundation and encroach into the setback, but no closer than 3 feet from any lot line. This exception shall be limited to no more than 20% of the total area of a building elevation.
  - (c) Unenclosed decks or patios at or below the first floor elevation may extend into the rear or side setback but no closer than 5 feet to any lot line. Where a roof is provided, it shall only be single story and shall remain unenclosed with at least 65% open and unobstructed on 3 sides.
  - (d) Ground-mounted mechanical equipment, meters, and utility boxes accessory to the building may be located in the side or rear setback provided that it extends no more than 6 feet from the principal building, no closer than 3 feet to the lot line, and is screened from public right-of-way by structures or landscape. These limitations do not apply to any utility structures otherwise authorized to be located in easements or rights-of-way, subject to the design standards of those specific authorizations.
  - (e) Any other accessory use or structure within the setback, not specified in Section 24-502.c, shall have a setback of at least 1/3 its height from the property line.
  
3. **Height Exceptions.** The following are exceptions to the height limits in Table 24-5-1:
  - (a) Building elements integral to the design and construction of the building, such as parapet walls, false mansards, or other design elements essential to a quality appearance of the building may extend up to 6 feet above the roof deck of a flat roof.

- (b) Architectural features such as chimneys, ornamental towers or spires, and similar accessory features that are cumulatively less than 20% of the building footprint may extend up to 50% above the actual building height.
- (c) Functional and mechanical equipment such as elevator bulkheads, cooling towers, smoke stacks, roof vents or other equipment may be built up to their necessary height in accordance with building codes, provided they are screened according to the standards of this code.

c. **Accessory Buildings - Residential.** Accessory buildings shall be permitted in association with, and on the same lot as, a principal building or use, subject to the standards in Table 24-5-2, Residential Accessory Structures, and to the following additional limitations.

<b>Table 24-5-2: Residential Accessory Structures</b>				
<b>Type</b>	<b>Quantity</b>	<b>Size</b>	<b>Height</b>	<b>Setbacks</b>
<i>Minor Structure (small shed, and similar structures)</i>	<ul style="list-style-type: none"> <li>▪ 1 / lot;</li> <li>▪ + 1 / each 10k s.f.;</li> <li>▪ Maximum of 3</li> </ul>	<ul style="list-style-type: none"> <li>▪ 120 s.f. max</li> </ul>	<ul style="list-style-type: none"> <li>▪ 12' max</li> </ul>	<ul style="list-style-type: none"> <li>▪ 0' side or rear;</li> <li>▪ 5' if on a concrete slab or similar foundation; and</li> <li>▪ Behind the rear building line of the principle structure</li> </ul>
<i>Secondary Building (detached accessory building)</i>	<ul style="list-style-type: none"> <li>▪ 1 / lot</li> <li>▪ 2 / lot, over 1 ac.;</li> <li>▪ 1 / principal building (apartments)</li> </ul>	<ul style="list-style-type: none"> <li>▪ 50% of principal building footprint, up to 1,200 s.f. max.</li> </ul>	<ul style="list-style-type: none"> <li>▪ 25' max, but no higher than principal structure.</li> </ul>	<ul style="list-style-type: none"> <li>▪ 5' from side and rear;</li> <li>▪ 20' from street side; and</li> <li>▪ At least 12' behind the front building line of the principal structure</li> </ul>
Any building over 12' high or more than 250 square feet shall meet the design standards in Section 24-502.c.2.				
<i>Out-building (large storage building, barns, etc.)</i>	<ul style="list-style-type: none"> <li>▪ 1 / lot over 1 ac.</li> <li>▪ + 1 / each 3 ac.</li> <li>▪ Maximum of 4</li> </ul>	<ul style="list-style-type: none"> <li>▪ 2,000 s.f. max</li> <li>▪ 5,000 s.f. max in H-A</li> </ul>	<ul style="list-style-type: none"> <li>▪ 25' max</li> <li>▪ 60' max in HA</li> </ul>	<ul style="list-style-type: none"> <li>▪ 10' from side and rear;</li> <li>▪ 30' from any street side; and</li> <li>▪ Behind the rear building line of the principal structure</li> </ul>
Applies to detached houses and civic / institutional uses only				

1. **Generally.**
  - (a) All accessory buildings shall be at least 6 feet from the principal building, or other distance specified by applicable building codes based on fire ratings of adjacent walls.
  - (b) Accessory buildings shall be clearly incidental and subordinate to the principal building or use, in terms of scale, location, and orientation.
  - (c) Minor accessory structures 120 square feet or less, and not on a foundation or slab do not have a required side or rear setback, but should be movable and are otherwise placed "at risk" by the owner with regard to any easements, fence, or screening requirements.
  
2. **Secondary Building Standards.** In any residential district, secondary buildings over 250 square feet shall or over 12 feet high shall meet the following massing and design standards to ensure compatibility with the principal structure:
  - (a) The wall height shall be no more than 9 feet above the finished floor, except that gables, dormers, or other subordinate walls may support a pitched roof.
  - (b) The roof peak or other top of structure shall not exceed 22 feet above finished floor for pitched roofs with a 6:12 pitch or greater, and no more than 16 feet for shed roofs or pitched roofs below a 6:12 pitch.
  - (c) The design shall be compatible with the principal building considering materials, architectural details and style, window and door details, and roof forms.

- (d) Secondary buildings with vehicle access directly from an alley or shared easement may be built on the lot line at the alley or shared easement.

- d. **Housing Diversity.** Individual projects shall meet the following housing diversity guidelines based on the scale and context of the project. Diversity shall be based on the categories and building types indicated in Table 24-5-3, and be applied according to Table 24-5-4. The guidelines shall be met by one or a combination of the following:
1. Use a mix of housing types permitted in the zoning district, or propose more than one zoning districts within the project.
  2. The Director may waive this requirement where there is an existing mix of housing within ¼ mile of the project that provides a comparable mix of housing considering the size, price points, and types of housing.
  3. The Director may approve alternative compliance if the applicant submits evidence that achieving the mix unreasonable based on industry data and conditions beyond the applicant’s marketing information.

<b>Table 24-5-3: Housing Categories &amp; Building Types</b>		
<b>Category I: Detached Houses</b>	<b>Category II: Missing Middle Housing</b>	<b>Category III: Multi-family and Mixed Use</b>
<ul style="list-style-type: none"> <li>▪ Detached House - Estate Lot</li> <li>▪ Detached House -Standard Lot</li> <li>▪ Detached House - Medium Lot</li> </ul>	<ul style="list-style-type: none"> <li>▪ Detached House – Small Lot</li> <li>▪ Detached House – Compact / Small Format</li> <li>▪ Multi-Unit House – Standards Lot</li> <li>▪ Multi-unit house – Medium Lot</li> <li>▪ Row house – Small Lot</li> <li>▪ Row house – Large Lot</li> <li>▪ Apartment - Small</li> </ul>	<ul style="list-style-type: none"> <li>▪ Apartment – Medium</li> <li>▪ Apartment – Large</li> <li>▪ Apartment – Complex (medium / large)</li> <li>▪ Apartment – Mixed-use Building</li> </ul>

<b>Table 24-5-4: Housing Diversity</b>	
<b>Project Scale</b>	<b>Required Mix</b>
< 50 Units	no requirement
50 - 150 Units	<ul style="list-style-type: none"> <li>▪ At least 2 building types</li> <li>▪ No more than 70% of one type</li> </ul>
151 - 300 Units	<ul style="list-style-type: none"> <li>▪ At least 3 building types</li> <li>▪ No more than 50% of one type</li> <li>▪ At least 20% Category II</li> </ul>
301+ Units	<ul style="list-style-type: none"> <li>▪ At least 4 building types</li> <li>▪ No more than 50% of one type</li> <li>▪ At least 30% from Category II</li> </ul>

- e. **Fences & Walls.** Fences and walls in residential districts shall be limited to the sizes and locations in Table 24-5-5, Residential Fences & Walls, and the following additional standards.

<b>Table 24-5-5 Residential Fences &amp; Walls</b>	
<b>Location</b>	
<p><b>Front</b> <i>In the front setback or any location in front of Front Building Line.</i></p>	<ul style="list-style-type: none"> <li>▪ 3.5' high</li> <li>▪ 3.5' – 6' if it is ornamental design that is at least 75% open (i.e. wrought iron).</li> <li>▪ Up to 8' for ornamental features at pedestrian entries.</li> </ul>
<p><b>Side and Rear</b> <i>In the side, street side, or rear yard and behind the Front Building Line.</i></p>	<ul style="list-style-type: none"> <li>▪ 6' high</li> <li>▪ A fence or wall outside of required setbacks (i.e. in the buildable envelope), and behind front building line can exceed 6', but may be limited by building codes or other general development and design standards.</li> </ul>
<p><b>Perimeter Fences</b> <i>Any fence within 30' of a Collector or Arterial street right-of-way as part of Perimeter Landscape in Section 24-803.</i></p>	<p>Any fence designed as part of a perimeter landscape area along collector or arterial streets, or otherwise located within 30' of a collector or arterial right-of-way and longer than 100', shall meet the following standards:</p> <ul style="list-style-type: none"> <li>▪ All fencing shall be softened with landscape materials on the street side of fences meeting the perimeter landscape standards of Section 24-802.</li> <li>▪ Expanses of over 100' shall be broken up by either:               <ul style="list-style-type: none"> <li>○ Offsets of +/- 3' on 1/3 of length for every 150' span; or</li> <li>○ Ornamental designs on at least 50' of every 150' space that is at least 75% open (i.e. wrought iron); or</li> <li>○ Architectural pillars or posts (i.e. stone, or masonry) at least every 50'.</li> </ul> </li> <li>▪ Alternatives may be approved by the Director in association with the perimeter landscape plans for in Section 24-803, Streetscapes in 24-301, and Neighborhood Features &amp; Common Areas (Trails) in 24-504.</li> </ul>
<p><b>All Locations</b></p>	<p>All fences or walls along rights-of-way or easements shall be set back at least:</p> <ul style="list-style-type: none"> <li>▪ 1' from any ROW or easement that prohibits structures; otherwise fences in easements shall be permitted only subject to specific easement language and limitations.</li> <li>▪ 2' from any sidewalk.</li> <li>▪ 3' from the edge of any alley or similar vehicle access surface</li> <li>▪ Fences or walls may only be located in the right-of-way or public easement by a revocable right-of-way permit from the Public Works Department</li> </ul>

1. **General Fence & Wall Design Standards.**
  - (a) All fences or walls located along common lot lines shall be located so the fence is on the property line, or at least three feet from the property line. Any areas set back three feet or more, which could become enclosed by other similarly located fences, shall provide at least one gate for access and maintenance equipment.
  - (b) The finished side shall face adjacent property or any public right-of-way, public space, or common areas.
  - (c) Any fence or wall in the floodplain shall also require a floodplain development permit.
  - (d) All fence or walls shall be located and designed to comply with sight distance requirements of 24-301.d.2. Any fence or wall that could potentially create a sight obstruction for vehicles crossing pedestrian areas or entering the street may require greater transparency or additional location restrictions to allow for safe sight distances for the vehicle.
  - (d) Temporary fences for construction may be up to 6 feet tall or as otherwise specified in construction permits
  - (e) All fences and walls may be subject to additional standards of the building code, approved drainage plans for the lot, or other design and development standards. In particular, the following require a building permit when allowed by this code:



- (1) Any fence or wall over 6 feet.
  - (2) Any retaining walls over 4 feet.
  - (3) Walls in the setbacks over 6 feet shall only be permitted by alternative compliance in Section 24-208.
2. **Materials.** Fences and walls shall be consistent in character, materials and appearance with the architecture of the principal building(s) on the same lot. Fences and walls shall be constructed out of any of the following materials:
- (a) Wood or vinyl simulating wood. Wood shall be either naturally rot resistant (such as cedar), or pressure treated for rot resistance;
  - (b) Wrought iron or aluminum simulating wrought iron;
  - (c) Stone, brick, concrete with stone or brick veneer, pre-cast concrete simulated stone or brick, or decorative concrete textured to simulate masonry; or
  - (d) Chain link or vinyl clad chain link, in the side or rear yard only and limited to 4 feet high, or up to 12 feet for any security fence around sports facilities, courts, pools or similar facilities, provided it is 20 feet from any lot line and provided all portions over 8 feet remain free of opaque screens.

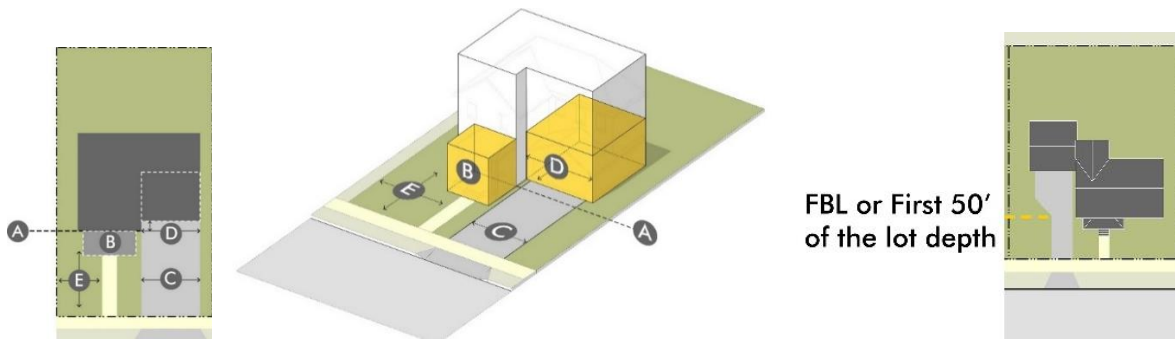
**24-503 Residential Design Standards**

- a. **Applicability.** The Design Standards shall apply to the R-L, R-M, and R-H zoning districts, and to any residential building type permitted in non-residential zoning districts. The standards shall specifically apply to the following circumstances:

<b>Table 24-5-6: Applicability</b>	
<b>Activity</b>	<b>Applicability of Standards</b>
<i>Site or Landscape work on less than 50% of the lot</i>	Standards only apply to changes associated with the proposed work, and only to the extent that any non-conforming situations for the entire site are brought closer to compliance.
<i>Site or Landscape work on 50% or more of the lot.</i>	All site and landscape for the entire lot shall be brought into compliance with the standards.
<i>Rehabilitation, remodeling or additions to buildings that add more than 200 square feet to the building footprint or mass, but less than 50%.</i>	Standards only apply to changes associated with the proposed work, and only to the extent that any non-conforming situations for the entire site are brought closer to compliance. However, staff may require full compliance for the building and lot for any rehabilitation, remodel or addition that is greater than 75% of the assessed value.
<i>New primary structure; or Rehabilitation, remodeling or additions to the building that add more than 50% to the building footprint or mass.</i>	All standards for the entire building and lot shall be met.
<i>Ordinary Maintenance</i>	The standards shall not apply to ordinary maintenance of existing buildings, except that maintenance to any building may not occur in a manner that brings the building or site to a greater degree of non-conformance with these standards.

- b. **Frontage Design.** The design of lot frontages establishes the relationship of buildings and lots to the streetscape, including building placement, lot access, garage extent and location, and entry features. Frontage Types designed according to the standards and design objectives of this subsection may be used to modify the front setback established in Table 24-5-1.

1. **Design Objectives.** Frontage types shall be applied to meet the following design objectives:
  - (a) Enhance the image of neighborhoods by coordinating streetscape investment with private lot and building investment.
  - (b) Design frontages to the particular context of the neighborhood, block and street.
  - (c) Coordinate development across several lots, considering the cumulative impacts on streetscapes from the frontage design of each lot.
  - (d) Orient all buildings and lot frontages to the streetscape, while still promoting effective transitions from public spaces to private spaces on the lot.
  - (e) Limit the impact on the neighborhood streetscape from frontages designed for car access, particularly on narrower lots or walkable streets and neighborhoods.
  - (f) Provide outdoor livable spaces that activate the streetscape.
  - (g) Use front entry features to reinforce neighborhood character, promote unique design with subtle variations to building patterns, and create consistent, human-scale connections to the streetscape.
  
2. **Frontage Design Standards.** Frontage types shall be designed according to the standards in Table 24-5-7, Residential Frontage Types & Design Standards. Sub-sections following the table provide specific design strategies and techniques to be used in meeting these standards and design objectives. Where multiple frontage types are permitted, the frontages should be similar for all lots on the same block face or gradually transition to different building placement and frontage types on adjacent lots. In general, the front building line of adjacent buildings shall not differ by more than 5 feet.



**Figure 24-5-5 Frontage Design Standards**

This diagram illustrates the key elements of frontage design in table 24-5-7: (A) front building line; (B) front entry features, (C) driveway widths; (D) garage extent and location, and (E) landscape areas. These elements determine the relationship between the building, the lot, and the streetscape, and affect the character of the area when applied across multiple lots on a block.

**Table 24-5-7: Residential Frontage Types & Design Standards**

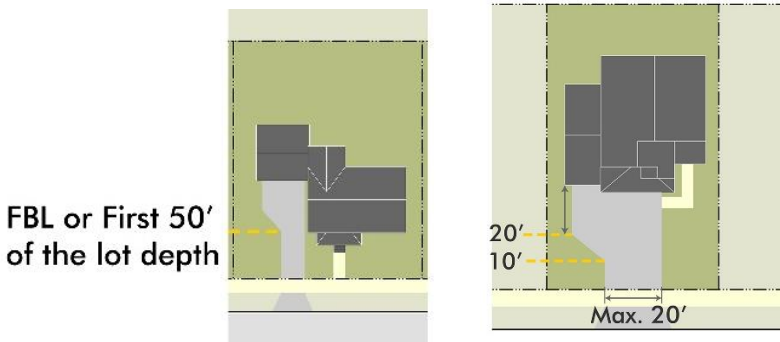
Frontage Element		Terrace Frontage	Neighborhood Frontage	Suburban Frontage
Application	R-L		<input type="checkbox"/> Required frontage type for R-L in the Legacy Urban & Downtown Neighborhood areas	<input checked="" type="checkbox"/>
	R-M	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	R-H	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Front Building Line	10' – 25'	25' – 60'	25' +	
Front Entry Feature	Required, See Section 24-503.b.5	Required, See Section 24-503.b.5	Required, See Section 24-503.b.5	
Driveway Width	15% of lot width, up to 20' maximum	20% of lot width, up to 20' maximum	50% of lot width, up to 27' maximum	
Garage Limitations	<ul style="list-style-type: none"> <li>20% of facade – must be at or behind FBL;</li> <li>Up to 35% if stepped back 12'+ from FBL</li> </ul>	<ul style="list-style-type: none"> <li>35% of facade – must be at or behind FBL;</li> <li>Up to 45% if stepped back 12'+ from FBL</li> </ul>	<ul style="list-style-type: none"> <li>65% of facade –no more than 12' in front of FBL</li> </ul>	
Landscape [1]	<ul style="list-style-type: none"> <li>60% minimum landscape; and</li> <li>40% maximum hardscape.</li> </ul>	<ul style="list-style-type: none"> <li>70% minimum landscape; and</li> <li>30% maximum hardscape.</li> </ul>	<ul style="list-style-type: none"> <li>50% minimum landscape; and</li> <li>50% maximum hardscape</li> </ul>	

■ Required, default standard

□ Optional, alternative standard to be applied based on context

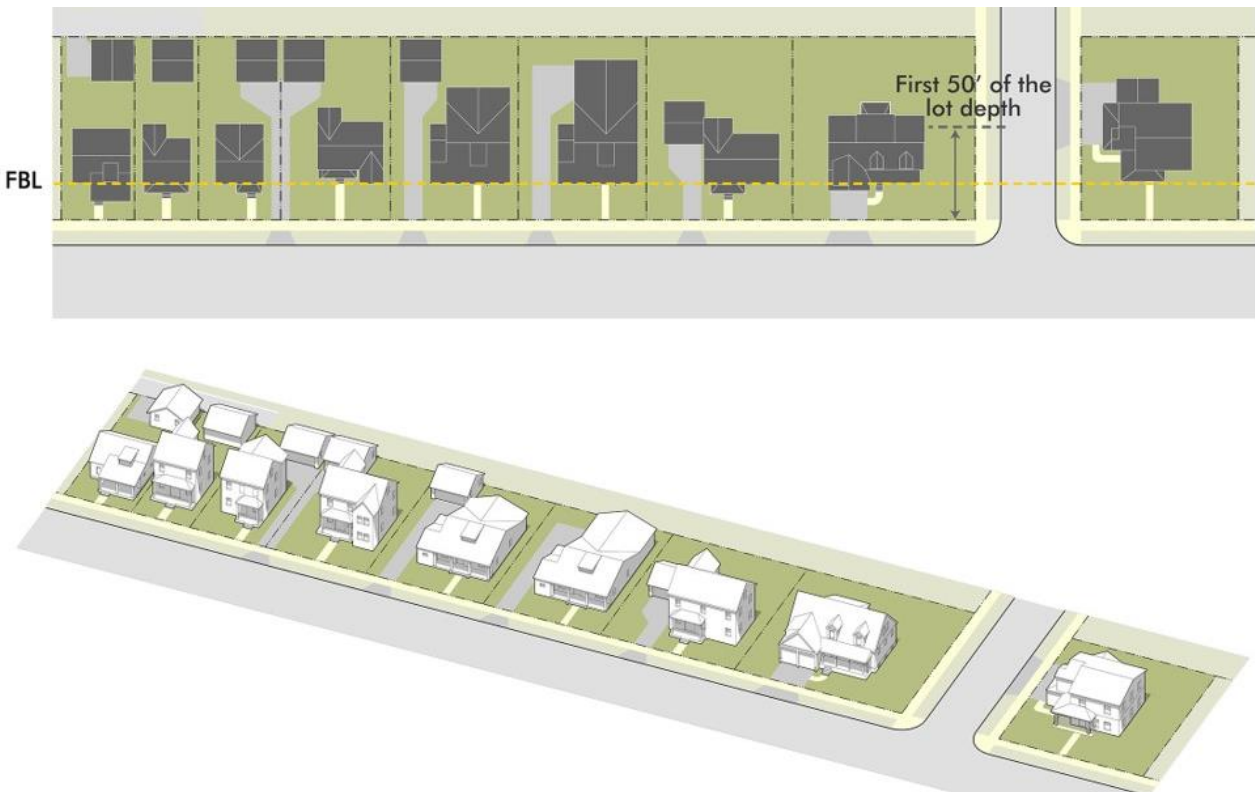
[1] Landscape refers to allocation of space between front lot line and front building line. See Section 24-802 Landscape Design for planting requirements, standards, and specifications.

3. **Driveway Limits.** Driveway limits maintain active spaces along the frontage, preserve areas of streetscape landscape, and reduce curb cut width protecting sidewalks and curbside parking. The following standards apply to the driveway limits in Table 24-5-7:
  - (a) Driveway width limits apply to the first 50' of the lot depth, or up to the Front Building Line, whichever is less.
  - (b) Any garage meeting the design standards in this Section may have a driveway expanded to the width of the entry, provided:
    - (1) The expansion extends no further than 20' from the garage entry;
    - (2) The expansion cannot be closer than 10' to the front property line; and
    - (3) The width of the driveway within the right of way and first 10' shall be reduced to no wider than 20' wide.
  - (c) In cases where driveway width and garage standards prohibit front-loaded garages and driveways on a particular lot, a range of options with different access patterns and garage locations may be used.
  - (d) All parking shall be outside of the frontage area, except detached houses or multi-unit houses may have one of the required parking spaces per unit in the driveway, provided it is at least 7 feet by 18 feet, entirely outside of the right of way, and does not interfere with any pedestrian area.



**Figure 24-5-6 Application of Driveway Limits**

*Driveway limits shall apply to the first 50' or up to the Front Building line, whichever is less, except any front-loaded garage meeting these standards may have a driveway expanded to the width of the entry 20 feet in front of the entry. (24-503.b.3.(a) and (b).*

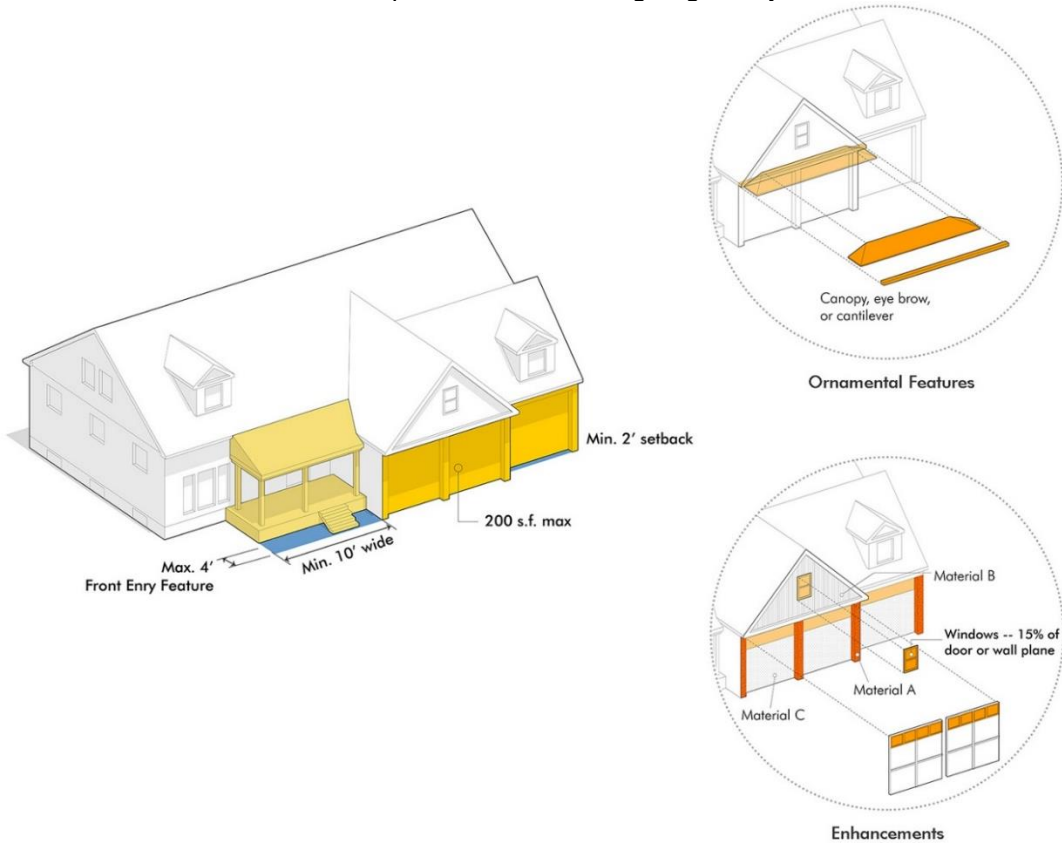


**Figure 24-5-7 Driveway & Garage Options**

Frontage type standards are based on lot widths to recognize both the proportionate and cumulative effect that frontage design elements have on the streetscape, and narrower or compact lots may be more limited. In these situations, options that reduce the car-orientation yet accommodate the convenience of access of vehicles should be used. Options include narrower entries, side entries, shared drives, common lanes, or internal block alleys. (24-503.b.3.(c).

4. **Garage Design:** Garage design reduces the extent; massing, and proximity and of front-loaded garages relative to the streetscape, and promote more human-scale building elements and active living areas along the frontage. The following standards apply to the garage limits in Table 24-5-7:
  - (a) Garage limits apply to front-loaded garages. Alternatives such as detached garages, side or rear-loaded garages, or attached garages that are accessed from the front but located on the rear of buildings are not subject to the limits.
  - (b) Garage limits shall be measured by the exterior walls of the floor plan or other clearly distinguished massing element on the front facade;
  - (c) Any front-loaded garage that is more than 35% of the elevation or that projects in front of the main mass of the house shall include at least 2 of the following features to reduce the scale and prominence of the garage:
    - (1) A front entry feature associated with the non-garage mass of the building that projects in front of or is no more than 4 feet behind the garage entry, and is at least 10 feet wide.
    - (2) The wall plane with a garage door is limited to no more than 200 square feet, and distinguished from other wall planes by the following:
      - i. At least one bay stepped back at least 2 feet; and/or

- ii. Ornamental features such as canopies, eyebrows, or cantilevers distinguish the wall plane of any upper level gables or living space.
- (3) Garage doors and any other related wall planes have at least 15% windows, and other ornamental trim or accents are included on the doors and pillars related to the garage entry.



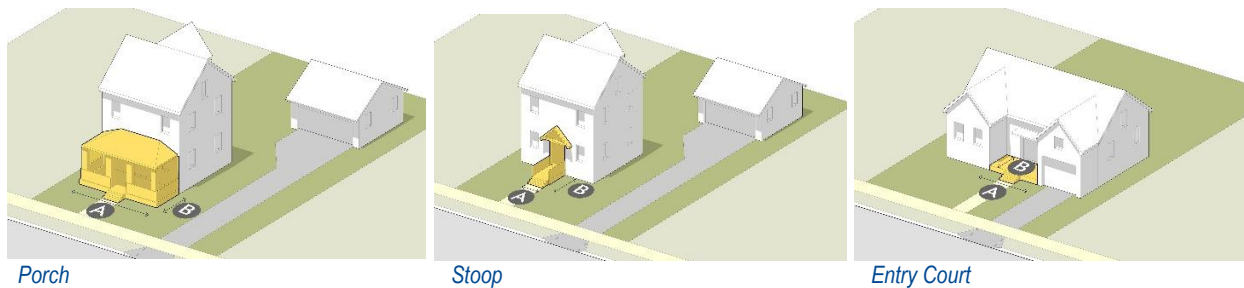
**Figure 24-5-8 Front Loaded Garage Design**

Where front-loaded garages project in front of the main mass or occupy a larger percentage of the elevation, design strategies can be used to reduce the scale and coordinate the garage entries with other livable spaces of the building. (24-503.b.4.)

- 5. **Front Entry Features.** The entry feature standards and design techniques in Table 24-5-8 shall be used where entry features are required by Frontage Types in Table 24-5-7, and are otherwise recommended to achieve the design objectives of this Section and to meet the standards of Table 24-5-9, Building Design Standards.

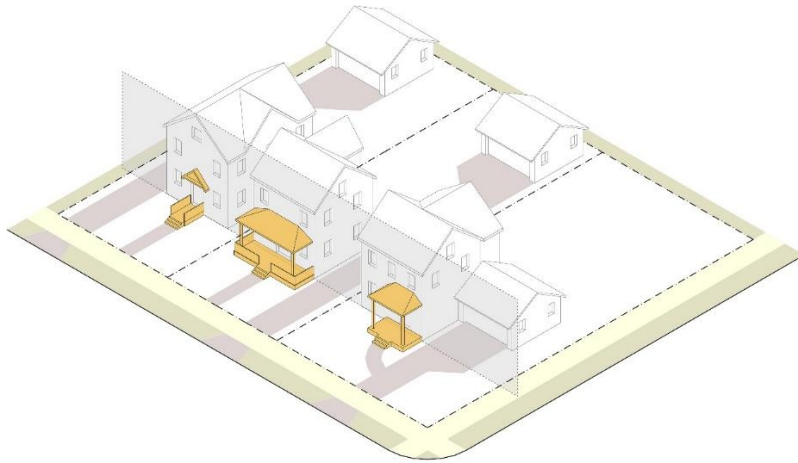
<b>Table 24-5-8: Front Entry Features</b>			
<b>Design Element</b>	<b>Width</b>	<b>Depth</b>	<b>Details &amp; Ornamentation</b>
Porch	12' minimum	8' - 12'	<ul style="list-style-type: none"> <li>▪ Decorative railing or wall 2.5' to 4' high along at least 50% of the perimeter.</li> <li>▪ If not roofed, a canopy, pediment, transom windows, enlarged trim and molding or other similar accents accompany the front entrance.</li> </ul>
	Suburban Frontage may reduce porch to 48 s.f.; at least 4' in all directions.		
Stoop	6' - 12'	6' - 8'	<ul style="list-style-type: none"> <li>▪ Decorative railing or walls along steps and side of stoop.</li> </ul>

		<ul style="list-style-type: none"> <li>Ornamental features accent the front entrance such as canopy, pediment, transom windows, enlarged trim and molding, or other similar accents that emphasize the door over other facade features.</li> <li>May be associated with a single-story enclosed front entry portico, projecting from the building.</li> </ul>
<i>Entry Court</i>	12' +, but never more than 50% of facade  10' – 24'	<ul style="list-style-type: none"> <li>Recessed entry within the building footprint.</li> <li>Decorative wall or railing, no higher than between 2.5' and 6' high along at least 50% of the opening.</li> <li>Ornamental pillars, posts or landscape accent the pedestrian entrance and create a gateway into the entry court.</li> </ul>
<i>General Design</i>		<ul style="list-style-type: none"> <li>All entry features shall have a sidewalk or path at least 4 feet wide directly connecting the entry feature to the public sidewalk or street. For Suburban Frontage, this can connect via the driveway.</li> <li>All entry features shall be integrated into the overall building design including compatible materials, roof forms, and architectural style and details.</li> <li>Entry features shall be single-story, so that any roof structure and any ornamentation occur between 8' and 14' above the floor-level of the entry feature.</li> <li>Entry features meeting these standards may encroach up to 10 feet in front of the front building line, but never closer than 5 feet to a public or common property line, provided they are unenclosed with at least 65% open and unobstructed on all sides that project into the setback.</li> <li>Any building with more than 150 feet of front facade, or any side greater than 200 feet and permitted within 20 feet of the street, shall have 1 entry feature for every 100 linear feet of building frontage on the street.</li> </ul>



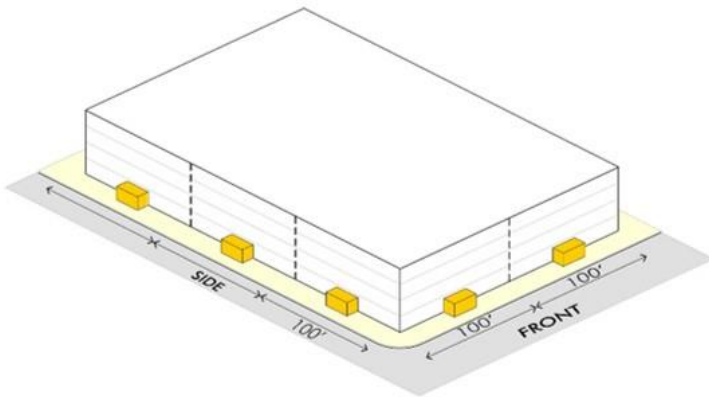
**Figure 24-5-9 Front Entry Features - Types**

The porch, stoop and entry court are three distinct types of entry features that create active, social spaces and human-scale details on the residential frontages. Spaces with a minimum width (A) and depth (B) specified in Table 24-5-8 provide usable social spaces, activate the streetscape and frontage, and contribute to the massing and modulation required by the building design standards.



**Figure 24-5-10 Primary Entry Feature - Encroachments**

Front entry features meeting the standards of this section create social spaces that help activate streetscapes, and create a variety of human-scale details along blocks. These features may encroach into the front setback to improve the frontages along blocks. (24-503.b.5 / Table 24-5-8)



**Figure 24-5-11 Primary Entry Feature - Large Buildings**

Front entry features should be more frequently located on larger buildings with wall planes in close proximity to the street. This breaks up the building massing and activates the streetscape. (24-503.b.5 / Table 24-5-8)

6. **Alternative Compliance.** Alternative compliance to the frontage design standards established in this Section may be authorized according to the process and criteria in Section 24-208, Alternative Compliance, and any of the following additional applicable criteria:
  - (a) The context presents clear pattern of existing buildings and lots on the same block and opposite block face with a different arrangement in terms of the front building line, driveway access patterns, and extent and placement of garages.
  - (b) An alternative design allows the building, garage, and access to be sited in a way that preserves topography or other natural features on the site, and does so in a way that equally or better meets the design objectives.
  - (c) The alternative preserves the streetscape landscape area and the curb areas available for on-street parking to the greatest extent practical.
  - (d) For detached houses or multi-unit houses alternatives to the driveway widths and setbacks may be approved for a required, accessory or guest parking space provided:
    - (1) No other reasonable alternative exists;
    - (2) It is limited to no more than 140 square feet of additional paved or all weather surfaces;
    - (3) The expanded paving is at least 10 feet from the front lot line if 45 degrees to perpendicular to the front, or at least 25 feet if 45 degrees to parallel to the front;



- (4) All drainage and potential impacts on adjacent property are addressed; and
- (5) The Director may require other design or landscape mitigation to ensure the parking and access is as discreet as possible,
- (e) In all cases the deviation is the minimum necessary to address the circumstance and does not negatively impact other design standards applicable to the building or site.

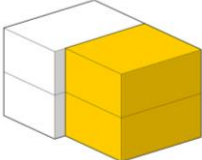
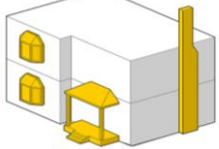
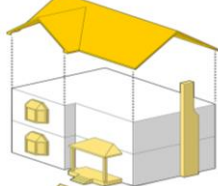
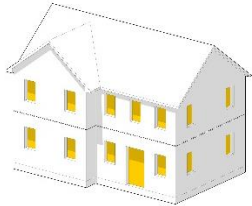
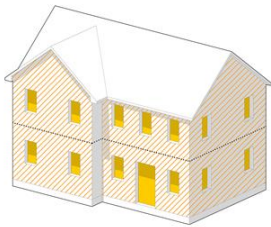


**Figure 24-5-12 Accessory Parking Pad**

*To meet parking requirements, accessory parking pads may be approved by alternative compliance provided they minimize impacts on the streetscape and adjacent property. (24-503.b.5.(c))*

- c. **Building Design.** Building design refines the scale and form of buildings beyond basic height, setback and lot coverage standards.
  - 1. **Design Objectives.** The following design objectives shall be used in applying the building design standards in this Section.
    - a. Relate buildings to public realm and streetscape in a consistent manner and create a compatible massing along the block.
    - b. Arrange buildings in a way that creates meaningful outdoor spaces on the site, with building designs that define and activate these spaces.
    - c. Use combinations of height, width, depth, and roof forms break down the building volume into smaller-scale masses
    - d. Blend a variety of building sizes and types and create compatible transitions between adjacent buildings of different scale by mimicking similar massing and proportions of adjacent development.
    - e. Use materials and human-scale architectural features to create depth, texture, variation and visual interest to walls, particularly on larger facades, along streetscapes, and near active open spaces or adjacent lots.
    - f. Encourage unique architectural expression, and promote the use of key details and design characteristics inherent in the chosen style for the building.
    - g. Promote enduring investments with the application of durable, quality materials.
  - 2. **Building Design Standards.** Table 24-5-9, Building Design Standards provides standards for massing and facade design. Sub-sections following the table provide specific design strategies and techniques to be used in meeting these standards and design objectives.

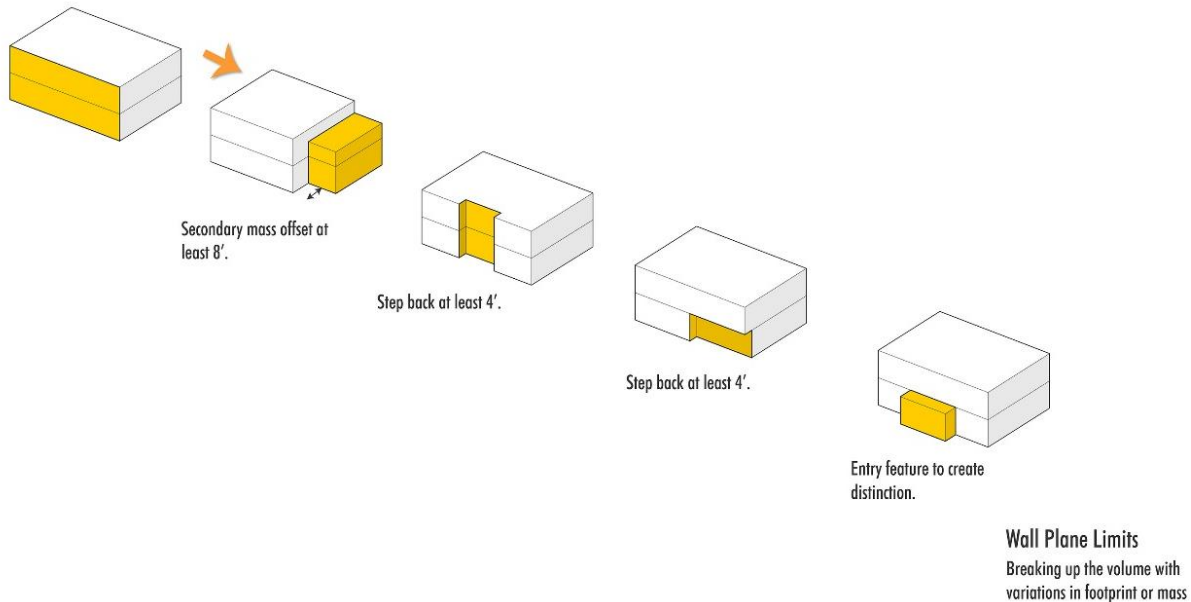
**Table 24-5-9: Building Design Standards**

Design Detail	Building Type	Detached House (all), and Multi-Unit House	Row House, Apartment (all)
<p><i>Wall Plane Limits.</i> Maximum wall plane without a massing variation of 4'+ on at least 25% of elevation.</p>		800 s.f. or 50 linear feet	1,200 s.f. or 70 linear feet
<p><i>Blank Wall Limits.</i> Maximum wall plane without modulation on at least 20% of the wall plane.</p>		500 s.f. or 30 linear feet	800 square feet or 45 linear feet
<p><i>Roof Pane Limits.</i> Maximum roof plane without offset of at least 2', complex planes, dormers or gables.</p>		600 s.f. or 50 linear feet	1,000 s.f. or 70 linear feet
<p><i>Transparency.</i> Minimum window and door openings per elevation (includes decorative trim, molding and casing)</p>		<p>Front – 20%; 15% 1-story Side – n/a, except 8% if side yard is &gt; 2x required setback Street-side - 10% Rear - 8%</p>	<p>Front – 20% Side – 8% Street-side - 10% Rear - 8%</p>
<p><i>Materials</i></p>		<p>Primary Materials –80% - 90% (limit 2 materials, no more than 80% of any one material) Secondary / Accent Materials - 10% - 20% (limit 2 materials)</p>	<p>Primary Materials: Lap siding (9" maximum board); vertical siding; alternative exposure pattern siding; brick, stone, stucco, synthetic / veneer brick or stone; and standing seam metal (roofs only) Secondary / Accent Materials: All primary materials, plus architectural metals, integrally tinted and textured masonry block; and wood or prefabricated synthetic trim or architectural details.</p>

3. **Wall Plane Limits.** Massing techniques use changes in the building footprint, height, or significant shifts in wall and roof planes to break down the volume of larger buildings. Wall planes that exceed the wall plane limits in Table 5-5 shall have at least 25% of the elevation differentiated by one or more of the following massing techniques:
  - (a) Break the building into distinct masses (primary mass, secondary mass, and wings), where portions of the building are offset from the main mass by at least 8 feet, or are otherwise be noticeably smaller and subordinate to the main mass.
  - (b) Step back portions of the building or upper stories by at least 4 feet in association with meaningful outside space, such as a balcony, deck, patio or entry court.
  - (c) Use cantilevers of upper stories that provide at least a 2 feet overhang of other portions of the wall plane.
  - (d) Provide single-story entry feature that project at least 6 feet from the wall plane.

- (e) Articulate rooflines by stepping the roof, using gables and dormers, dropping eaves, and using prominent overhangs to create offsets and projections of at least 2 feet.
- (f) Where larger buildings are next to smaller buildings, or are along a block with smaller buildings, step the height of the building or offset secondary masses to create compatible massing with adjacent structures.

Min. 25% of elevation has massing variation

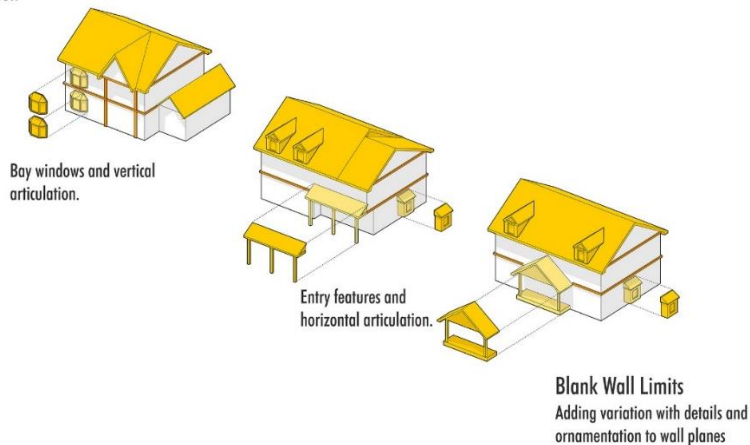


**Figure 24-5-13 Wall Plane Limits**

Wall planes over the size specified in Table 24-5-9 shall be broken up with a range of techniques so that at least 25% of the elevation is differentiated with distinct wall planes.(24-503.c.3.).

4. **Blank Wall Limits.** Modulation uses materials, ornamental details, and subtle variations in the wall plane to break up blank wall planes. Wall planes that exceed the blank wall limits in Table 24-5-9 shall use one or more of the following techniques so that at least 20% of the facade is distinguished with modulated elements:
  - (a) Create projections in the wall planes with bay windows, balconies, awnings, or canopies that project at least 2 feet from the wall plane.
  - (b) Create voids in the wall plane with step-backs of upper stories or balconies that recess at least 4 feet beyond the wall plane.
  - (c) Differentiate stories, roofs, or other masses with prominent trim materials and/or incorporate material changes on different modules of the building. Significant trim or ornamentation used to break up blank walls or wall planes shall project between 2 inches and 2 feet from the wall and be at least 8 inches wide.
  - (d) Use color changes and accent materials to emphasize distinct components of the facade. Material and color changes should wrap corners and occur at the inside corner of a massing element, or occur in association with a significant trim or ornamentation to give a finished and unified appearance to the element.
  - (e) Break up remaining large expanses of blank walls with facade composition that considers the location and grouping of windows, doors, or architectural details.

Min. 20% of wall plane  
has details & variation

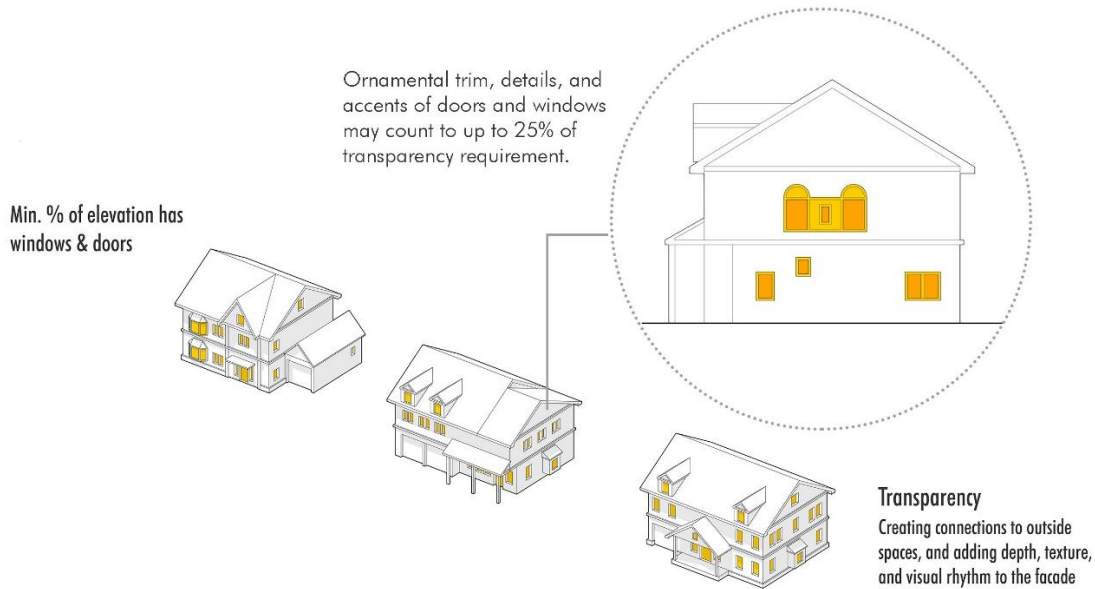


**Figure 24-5-14 Blank Wall Limits**

Wall planes over the size specified in Table 24-5-9 shall have ornamental details or subtle variations in the wall plane on at least 20% of any wall plane to eliminate large expanses of blank walls. (24-503.c.4).

5. **Transparency.** Windows and doors provide transparency, detail, and visual rhythm on the facade, and they break up blank walls with the location, pattern, and proportions of these openings. The following techniques should be used to achieve the design objectives of this sub-section and to meet the windows and doors requirements of Table 24-5-9, Building Design Standards:
  - (a) Provide transparency with the location, pattern, and proportions of windows and doors, and create relationships to surrounding spaces and buildings.
  - (b) Incorporate distinct and visually significant windows and doors (size, orientation, and ornamentation) to emphasize key locations on the facade or to relate to important outside open spaces.
  - (c) Locate windows doors to create a coordinated facade composition considering the entire facade as a whole, and to break up large expanses into different components with the grouping of windows and doors.
  - (d) Emphasize a hierarchy of doors with different levels of ornamentation and details, particularly to make multi-unit houses compatible with adjacent detached houses and appear as single houses.
  - (e) Locate and design windows strategically in relation to privacy concerns in adjacent spaces and buildings, but maintain consistent exterior patterns; recall that high-bank windows, transom windows, opaque windows, and window treatments that are a adaptable and user-controlled are a better strategy than simply no windows at all.
  - (f) Use windows and doors with projecting trim and ornamentation to create depth, texture, and shadows on the facade; to emphasize openings; or to gang groups of openings. Openings that have projecting trim and casements (at least 1 inch off the facade and 4 inches wide); or otherwise group widows with significant details that clearly differentiate these elements from the main facade may count these features for up to 25% of the window and door requirement.

- (g) The window requirement may be waived on sides of buildings that are closer than 3 feet to the property line, if necessary to meet applicable building code requirements.

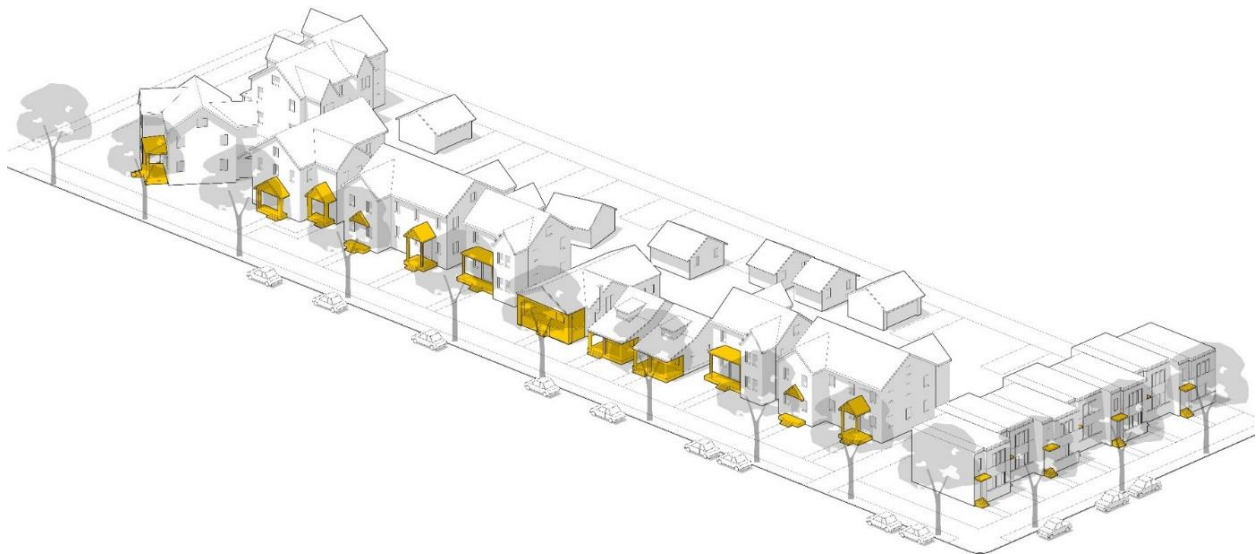


**Figure 24-5-15 Transparency**

The minimum transparency specified in Table 24-5-9 shall create connections to outside spaces and break up blank walls. Enhancements that emphasize the windows and the location, arrangement, or grouping of windows may count to this requirement. (24-503.c.5).

6. **Materials.** Building materials with texture and patterns create visual interest and signify quality construction and detailing. The following techniques should be used to achieve the design objectives of this section and the materials standards of Table 24-5-9, Building Design Standards:
- (a) Use natural materials such as painted or natural finish wood siding (horizontal lap, tongue-and-groove, board and batten, or vertical), brick, stone, stucco, ceramic, or terra cotta tile. Synthetic alternatives to these natural materials may be used if manufacturer specifications and/or precedents for application demonstrate that it will perform equally or better than the principal materials in terms of maintenance, design, and aesthetic goals.
  - (b) Siding shall be continued to within 18 inches of finished grade on any side, unless the foundation is stone, stone veneer, or other ornamental finish is applied.
  - (c) Brick, stone, or other ornamental accent materials shall wrap the corner for at least 2 feet on any facade, or otherwise terminate at interior corners to give a finished appearance the architectural element.
  - (d) Coordinate changes in color and materials in association other changes in massing and modulation of the building.
  - (e) Use changes in color or materials to differentiate the ground floor from upper floors and the main body of the building from the top or roof-structure, particularly on buildings 3 stories or more.
  - (e) In multi-building projects, use subtle variations in building materials and colors on different buildings, within a consistent palette of materials and colors.

7. *Variations of Buildings.* All projects involving three or more buildings shall provide variations in the elevation from the two buildings on each adjacent side, and the three nearest buildings on the opposite side of a facing block, with at least two of the following:
- (a) Variations in the front entry features as indicated in 24-503.b.5. Variations should include combinations of at least two of the following changes:
    - (1) Different types of entry features: such as, porch, stoop, or entry court;
    - (2) Different roof styles associated with the entry feature: such as gable, hip, shed, flat, arched, or no roof;
    - (3) Different locations and extent of the entry feature: such as centered, shifted, wrapped; projecting, or embedded; and half or full; and/or
    - (4) Different ornamentation or architectural styles that lead to distinct qualities within a similar scale or pattern.
  - (b) Variations in the facade composition, including massing, modulation, window types and placement, materials and material changes, and details and ornamentation, to the extent that the buildings have a distinct appearance;
  - (c) Variations of the roof forms considering the type of roof, orientation of gables, or use of dormers; or
  - (d) Variations of the model or building type with distinctively different floor plans that lead to different massing. Mirror images of the same model and floor plan shall not be used to meet the variation requirement.
  - (e) In the case of multi-unit buildings:
    - (1) For duplexes / multi-unit houses that are intended to mimic the scale and form of detached houses, a hierarchy of doors and entrances shall be used to create the appearance of a single building, and the variation shall apply between buildings.
    - (2) For row houses and similar buildings that are clearly designed for multiple units, subtle variations in the materials and entry features shall apply to emphasize different units, and the variation shall apply between units in the building.



**Figure 24-5-16 Front Entry Features - Variety**

*Using a wide variety of entre feature types, styles and designs is a way to create subtle distinctions between the same or similar building types, and can add common human-scale patterns among different types or scales of buildings. (24-503.b.5 and b.7.)*

8. **Alternative Compliance.** Alternative compliance to the building design standards established in this Section may be authorized according to the process and criteria in Section 24-208, Alternative Compliance, and any of the following additional applicable criteria:
  - (a) The requirement is not consistent with the particular architectural style selected for the building based on reputable resources documenting the style.
  - (b) The requirement would make the building less compatible with designs or characteristics of other buildings or sites adjacent to the project or that are prevalent throughout the area.
  - (c) Deviations from material standards and any simulated products demonstrate a proven performance in terms of maintenance and quality appearance.
  - (d) In any case, the deviation is the minimum necessary to address the circumstance and does not negatively impact other design standards applicable to the building or site.
  
- d. **Lot Open Space Design.** Lot open space helps scale buildings properly to the lot and block, create transitions from public streetscapes to private lots, and ensure that residents have usable open space and outside social areas. These spaces also complement the neighborhood features, common areas, and public parks throughout the neighborhood. Open space designed according to the standards and design objectives of this sub-section shall be used to meet the lot open space standard established in Table 24-5-1.
  1. **Design Objective.** The following design objectives shall be used to apply the lot open space standards in this section.
    - (a) Promote the arrangement of neighborhoods, blocks and lots in a way that responds to the existing natural features and ensures access to a variety of open spaces
    - (b) Design all unbuilt areas to serve as valuable neighborhood features, considering the aesthetic, ecological, recreation, or community serving potential of these spaces.
    - (c) Ensure that all lots and buildings have access and proximity to useable open space, whether public, common or private on-lot spaces.
  
  2. **On-Lot Open Space Design.** On-lot and building open space required for each building type in Table 24-5-1: Residential Building Type & Lot Standards, shall create a common or private amenity for the site and building. Buildings and open spaces on a lot shall be arranged to create usable outdoor spaces that meet one or more of the following types:
    - (a) Private frontage areas designed according to Section 24-503-b., excluding any driveways, parking areas or other automobile space;
    - (b) A front entry feature designed according to Section 25-503.b.5, provided it is at least 80 square feet, and at least 8 feet in all directions – this space is limited to no more than 25% of the requirement for the lot and building.
    - (c) Courtyards, meeting the standards of Section 24-505;
    - (d) Rear or side yards provided they are part of an open area at least 300 square feet and at least 15 feet in all directions.
    - (e) Uncovered decks or patios, provided they are part of an open area at least 120 square feet and at least 10 feet in all directions – this space is limited to no more than 50% of the requirement for the lot and building;
    - (f) Apartment or mixed use buildings may also count the following spaces:
      - (1) Common rooftop decks provided they are at least 200 square feet, and at least 12 feet in all directions – this space is limited to no more than 25% of the requirement for the lot and building; or

- (2) Private balconies or patios, provided they are at least 6 feet by 10 feet – this space is limited to no more than 25% of the requirement for the lot and building.
- 3. **Alternative Compliance.** Alternative compliance to the open space design standards established in this Section may be authorized according to the process and criteria in Section 24-208, Alternative Compliance, and any of the following additional applicable criteria:
  - (a) The lot and building has access to at least two different active open space within 1,320 feet, and meeting the design and service area standards Section 24-504, Neighborhood Features and Common Areas.
  - (b) All buildings and lots shall include at least 1 of the required lot or open space types.
- e. **Exterior Lighting.** All exterior lighting in residential zoning districts shall meet the standards of 24-603.f. Exterior Lighting.

**24-504 Neighborhood Features and Common Areas**

- a. **Design Objectives.** The following design objectives shall be used to design and locate neighborhood features and common space.
  - 1. Arrange neighborhoods, blocks and lots around a connected system of open lands, parks, trails and civic spaces
  - 2. Design and locate unbuilt areas to serve multiple aesthetic, ecological, recreation and social functions
  - 3. Integrate civic spaces and neighborhood features into streetscape designs and create gateways and transitions to unique neighborhoods and districts
  - 4. Design neighborhoods with access to outdoor recreation and opportunities active living.
  - 5. Locate formal civic spaces to serve as gathering places and focal points of compact, walkable neighborhoods
  - 6. Preserve natural features for their aesthetic and ecological value, including groves of trees, prairie, streams, unusual and attractive topography, and similar natural landscape features.
  - 7. Distribute open and civic spaces so that all development has access and proximity to a variety of amenities appropriate to its context.
- b. **Required Features & Common Areas.** Neighborhood features and commons areas shall be required for all residential projects based on the number of dwelling units specified in Table 24-5-10. It may include the types of spaces identified in Table 24-5-11 provided they are designed and located according to the criteria in Section 24-504.c.

<b>Table 24-5-10: Required Neighborhood Features</b>	
<i>Required Features</i>	<i>Dwelling Units</i>
0	<25
1	25-50
2	51 - 100
3	101-200 units
+1	each increment of 100 units



- c. **Neighborhood Feature & Common Area Design.** Neighborhood features and common areas may include the types of spaces identified in Table 24-5-11.

Table 24-5-11 Neighborhood Feature & Common Area Types			
Type	Size	Service Area	Feature Points
<b>Natural Areas</b>	<ul style="list-style-type: none"> <li>At least 1 acre, but dependent on ecological value of the space and the ability to other coordinated and undisturbed natural areas (ideally 40 acres or more)</li> </ul>	n/a	1 – 3 depending on quality / size
<b>Trail System</b>	<ul style="list-style-type: none"> <li>20' min. width landscape corridor;</li> <li>8' minimum width paved or crusher fine path; 10' minimum if multi-modal;</li> <li>At least 1 block length, but sufficient continuity to connect entire project with pedestrian and bicycle systems outside of project.</li> </ul>	w/in 1000' of trail, or up to 0.25 mile from trail head.	1
<b>Pocket Park</b> (See 24-302 for larger parks)	<ul style="list-style-type: none"> <li>1 – 4 acres</li> <li>At least 100' wide in all directions</li> <li>Frontage on at least 1 public street OR connections to street by a trail</li> </ul>	w/in 0.25 miles	1
<b>Recreation Center</b>	<ul style="list-style-type: none"> <li>10K s.f. – 4 acres</li> <li>2K s.f. min. community building and/or</li> <li>20' x 40' min. community pool</li> </ul>	w/in 0.5 miles	2 for building 2 for pool 3 for both
<b>Square / Green</b>	<ul style="list-style-type: none"> <li>5K s.f. – 1 acre</li> <li>At least 50' wide in all directions</li> <li>Frontage on at least 2 public streets</li> </ul>	w/in 1,000'	1
<b>Plaza / Courtyard / Community Garden</b>	<ul style="list-style-type: none"> <li>1K – 5K s.f.</li> <li>At least 25 wide in all directions</li> <li>Frontage on at least 1 public street OR connection to street by trail or pedestrian passage</li> </ul>	abutting lots or on the same block	1
<b>Enhanced Streetscape</b>	<ul style="list-style-type: none"> <li>50% minimum increase above pedestrian / amenity area required by 24-301; OR</li> <li>Median – 12' minimum on collector; 16' minimum on arterial</li> <li>At least 1 block length</li> </ul>	abutting lots on the same block	0.25
<b>Gateways</b>	<ul style="list-style-type: none"> <li>100 – 1K s.f. at all intersections of collector streets or higher classification OR</li> <li>Smaller but equivalent monumentation and identify features dispersed at all intersections.</li> </ul>	abutting lots on the same block	0.25
<b>Pedestrian Passage</b>	<ul style="list-style-type: none"> <li>12' – 20' wide corridor</li> <li>6' wide minimum paved path</li> <li>150' length min, and through the entire block or connecting from street to other civic space.</li> </ul>	abutting lots on the same block	0.25

1. **Design Criteria.** All neighborhood features and common space shall include enhanced landscape design to ensure a distinctive identity and amenity for the neighborhood.
  - a. Natural areas (open lands and trails) include large areas of vegetation, native or natural landscape, and undisturbed or restored topography and natural features. These areas shall be located to preserve valuable ecological resources such as riparian corridors, plant or animal habitat, or prominent landscape features.
  - b. Recreation areas (parks, trails, and recreation centers) include playgrounds, sport courts, and larger landscape areas designed for un-programmed outdoor recreation. These areas shall be located at highly-visible, central locations and important intersections of the street networks and/or trail systems.
  - c. Formal areas (greens, plazas, squares and courtyards) include hardscape, public art, seating areas, ornamental landscape, water features or other enhancements to serve as focal points and gathering places. These areas shall be located to

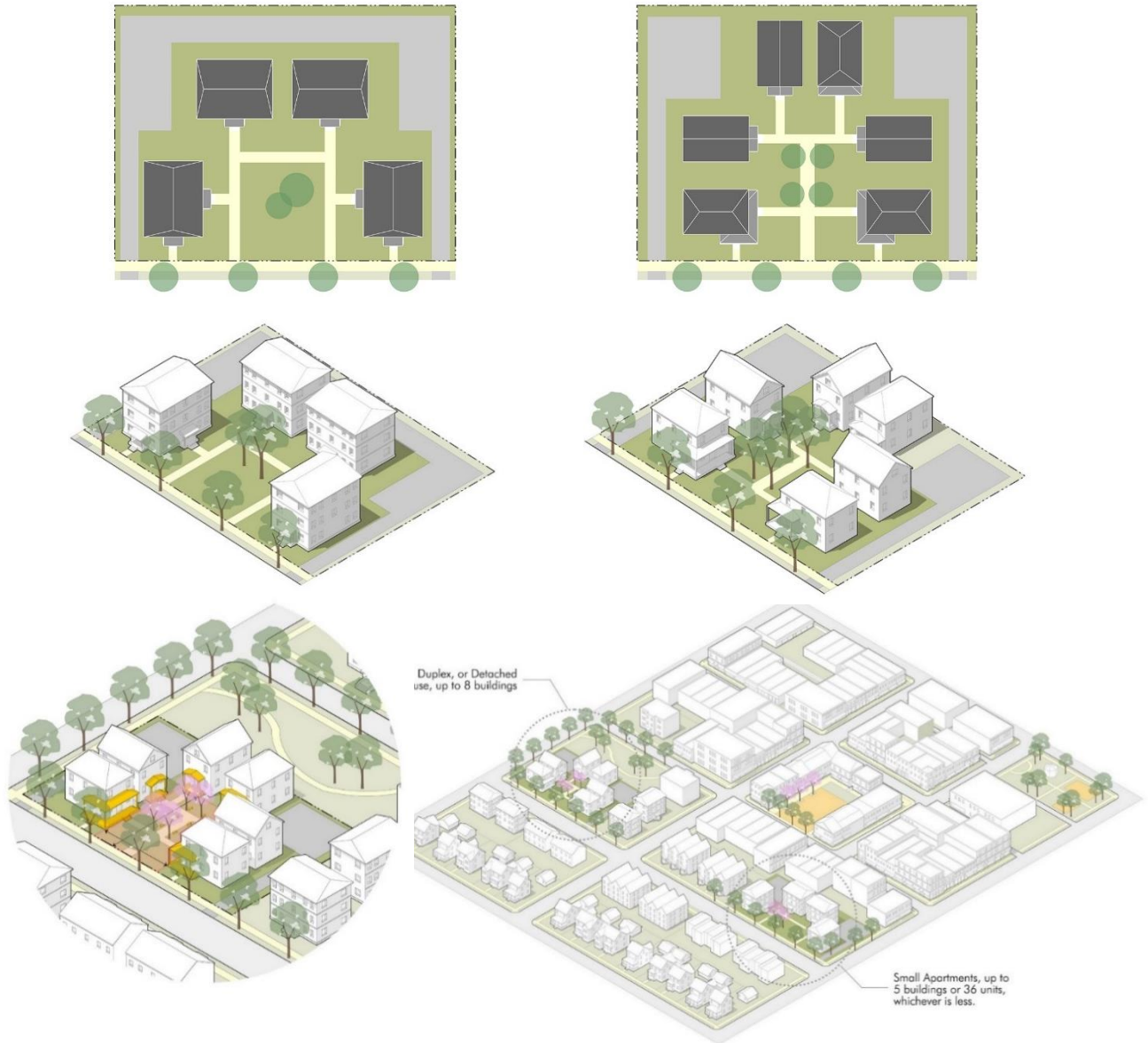
serve as focal points for compact development patterns or higher density development serving the immediate surrounding area.

2. **Designated Out Lots.** All neighborhood features and common space shall be designated on a plat as out lots under common ownership and reserved for the limited and specified purpose of serving surrounding development with amenities. Except, multi-family projects may include the neighborhood features or common space within the required 30% lot open space in private ownership.
  3. **Coordination with Other Public Space.** All neighborhood features and common areas shall be coordinated, to the greatest extent practical, with the larger system of parks and civic spaces required in Section 24-302.
- d. **Stormwater Facilities.** Stormwater facilities shall be designed and integrated into the street network or open and civic space system in order to avoid redundant and inefficient facilities on individual lots. Any area used for stormwater may be counted towards the neighborhood feature and common areas provided:
1. It is integrated into the design of the space as aesthetic amenity and is consistent with the design, function, and character of the space.
  2. The design does not impact the utility of the space for either purpose (i.e stormwater functions do not compromise the use and value of the space as intended open space, and open space designs do not compromise maintenance and management and performance for stormwater functions according to the design and performance standards of the Design Criteria and Construction Specifications for Stormwater, Volume II).
  3. The maintenance and management of the portion of the facility serving stormwater function is clearly identified, whether that is a public dedication or whether it is an obligation of the owner or property owners' association.
- e. **Ownership and Management.** Neighborhood features and common areas platted as part of a development shall require specific designation on the final plat as a separate out lot. Options for ownership and management include:
1. Creation of or dedication to a non-profit entity capable of carrying out the ownership and management.
  2. Creation of a homeowners', leaseholders' and/or property owners' association that owns the space in common and is capable of carrying out the ownership and management.
  3. Dedication to a public entity as part of the rights-of-way, parks or other community facilities element of the plan. The City may accept dedications of land in its sole discretion, provided it meets other open space and conservation goals of the City indicated in the Comprehensive Plan or other official Culture, Parks, and Recreation Department plans.
- All neighborhood features and common areas shall require documentation recorded with the final plat that outlines the ongoing maintenance plans, as well as administrative and financial management of the space according to these standards. Documents such as covenants for a homeowners' association, bylaws or charter for a non-profit entity, or similar agreements and guarantees, shall be filed with the clerk and recorders office in association with the plat prior to any building permits.
- f. **Alternative Compliance.** Alternative compliance to the neighborhood feature and common areas standards established in this Section may be authorized according to the process and criteria in Section 24-208, Alternative Compliance, and the following additional applicable criteria:

1. The location, accessibility and quality of existing publicly dedicated areas, streetscape, or other public realm elements, particularly as it relates to infill development.
2. The extent of lot open space associated with buildings and the opportunity for it to provide usable open space to residents.
3. Alternatives to the neighborhood amenity and common area types that create a distinct identity or preserve a valuable resources.

## **24-505 Courtyard Pattern**

- a. **Applicability.** Residential buildings and lots may be designed to front on a courtyard based on the following design standards. The courtyard pattern is appropriate where:
  1. Courtyards are designed as an extension of the public streetscape and open space system for the project, block or neighborhood.
  2. Blocks and surrounding lots are deep, allowing a different configuration of buildable lots; or
  3. Other developed areas where existing lot patterns in the vicinity warrant use of this pattern to facilitate infill development and compatible building types.
- b. **Eligible Building Types.** The following building types are eligible for this pattern, subject to the limitations stated:
  1. Small Apartments, up to 5 buildings or 36 units, whichever is less.
  2. Row Houses, up to 4 buildings or 24 units, whichever is less.
  3. Multi-unit House or Detached House, up to 8 buildings.
- c. **Design Standards and Exceptions.**
  1. The minimum lot size per building in Table 24-5-1 may be reduced up to 30%, provided the courtyard is owned in common by all lots or otherwise established as a shared-space amenity.
  2. Lots and buildings may front on the courtyard, rather than along a street, provided they otherwise meet the design standards applicable to the front of buildings.
  3. The front setback may be reduced to 5 feet from the courtyard.
  4. Vehicle access and parking for each lot shall be coordinated for all lots and buildings, and designed in a way that minimizes the impact on the public street and the courtyard. Access shall meet all frontage standards applied to the project as a whole.
  5. Any buildings fronting on the street, or the sides of any buildings adjacent to the street shall still meet requirements for public frontages and orientation standards in this section. Corner buildings may need to meet the front building design standards on both the street front and the courtyard.
  6. The courtyard shall meet the following design standards:
    - (a) *Size.* 1,000 to 5,000 square feet.
    - (b) *Proportions.* The courtyard shall be at least 25 feet in all directions and be no wider than 4:1 (length to width).
    - (c) *Frontage & Access.* The courtyard shall be have frontage on a public street, or be visible from and directly connected to the streetscape.
    - (d) *Landscape:* At least 25% of the area shall be allocated to planter beds, seasonal plantings, foundation plants or other landscape amenities, and otherwise meet the landscape standards applicable to Terrace frontages.



**Figure 24-5-17 Courtyard Pattern**

*Courtyard patterns allow multiple buildings to front on common open spaces with reduced lot sizes and setbacks, provided all open space design standards are met, provided the courtyard and buildings maintain frontage design and streetscape standards on a public street.*

**24-506 Residential Micro-Housing District**

- a. **Intent.** The intent of this section is to provide smaller-format manufactured, mobile or other small homes, in a neighborhood or community that includes common neighborhood amenities, and with site designs that limit impacts on adjacent property and promotes development patterns that are compatible with the surrounding areas.

- b. **Applicability.** Small format home communities are permitted in the Residential Micro-Housing District (R– MH), and implemented through rezoning conditioned on a specific project plan according to Section 24-204, or as a Planned Unit Development according to Section 24-205. These standards shall not apply to:
1. Mobile homes, trailers or similar temporary buildings used as an interim structure associated with an ongoing construction project under valid permit;
  2. A single mobile or manufactured home used as an accessory structure in the H-A district.
  3. Interim or temporary housing strategies to address emergencies; or
  4. Detached houses that are assembled off site and “manufactured,” provided they meet all other standards of the applicable zoning district.
- c. **Development Standards.** Except as otherwise modified through a development plan according to the approval procedures and criteria in Section 24-204, the general development standards for manufactured and other small format home projects are included in Table 24-5-12.

<b>Table 24-5-12: R-MH Development Standards</b>	
<b>Project</b>	<b>Amount of Bonus Units Above Base Density</b>
<i>Project Size:</i>	5 acre minimum, 150' minimum frontage an arterial or collector 20% open space  <i>Exception:</i> the Director may recommend a plan for as small as 3 acres and 100 feet of public street frontage if the plan demonstrates exceptional community design and layout for the common areas within the community, a high-quality and well-designed housing concept, and special attention to integrating and relating the project to surrounding areas.
<i>Project Intensity:</i>	10 units per acre, maximum  <i>Exception:</i> Up to 18 units per acre for any project with more than 30% of the project area designed as useable open space meeting Open & Civic Space standards in Section 24-302.
<i>Perimeter Setbacks</i>	25' minimum from any street boundary; 20' from any property boundary See Section 24-803 for perimeter landscape standards.
<b>Home Sites</b>	
<i>Lot Size</i>	2,500 s.f. minimum,  <i>Exception:</i> 1,200 s.f. minimum for any project with more than 30% of the project areas designed as useable Open & Civic Spaces meeting the types and standards in Section 24-302
<i>Lot Width</i>	25' minimum, and at least 20' frontage on a public street, common internal street, or common open space with street access at the rear of the site.
<i>Setbacks</i>	Front: 10' minimum, or 18' minimum from internal street edge, whichever is greater Side: 5' minimum, or 3' minimum with 10' between buildings on adjacent lots Rear: 10' minimum All buildings shall meet the project perimeter setback.
<i>Height</i>	30' maximum
<i>Site Design</i>	Each home site shall have a private patio, courtyard or similar outdoor amenity of at least 120 square feet. Any structure associated with this outside amenity may be located within 5 feet of the lot or home site boundary. Each home site may have accessory storage up to 120 square feet, up to 8 feet tall. The accessory storage shall be in an accessory building or in an area screened from the internal streets, common

**Table 24-5-12: R-MH Development Standards**

	areas or adjacent property. An accessory building shall be set back at least 40 feet from any public or internal street, or behind the dwelling unit. Accessory buildings shall be separated by at least 5 feet from any other structure. Where the project provides a community storage area of comparable size for each unit, storage on the site is not required
<i>Parking</i>	Projects shall meet Chapter 7 for required parking. At least one parking space shall be on the home site. However, an additional space and any required guest parking may be located on the internal street or in a common parking lot within 250' of the home site..

- d **Uses.** In addition to any uses enabled for the R-MH district in Table 24-4-2: Zoning Districts and Uses projects may include the following specific uses:
1. Dwelling units consisting of modular homes, mobile homes, or other similar small detached dwellings.
  2. Accessory buildings and uses incidental to those listed above and which support the residential community, including offices, recreation buildings, storage areas, maintenance and utility facilities, or other community services.
- e. **Common Areas.** All common areas not dedicated as home sites according to the development standards in Section 24-504.c, shall be designed as common spaces according to the development plan. This space shall be allocated to:
1. *Internal Streets.* Internal streets shall laid out to organize the project into blocks and lots so that all home sites and lots are served by streets. Internal streets shall be 20' where no parking is permitted, 24' wide where parking is permitted on one side, and 28' wide where parking is permitted on both sides. Internal streets shall connect to public streets as follows:
    - (a) One connection for projects under 25 dwelling units;
    - (b) Two connections for projects between 25 and 100 dwelling units.
    - (c) One connection per every 50 dwelling units for projects over 100 dwelling units
  2. *Neighborhood Features & Common Areas.* Common areas shall meet one of the design types specified in Section 24-504 at a rate specified in Table 24-5-10. All common areas shall be designed and located in a manner that ensures adequate accessibility for all units in the community.
  3. At least one of these spaces shall include a community building, which is centrally located, for recreation and meeting functions, laundry facilities, or other common amenities. The community building shall be at least 1,000 square feet, or 15 square feet per dwelling unit, whichever is greater.
  4. Other internal circulation or open space such as walkways, landscape perimeters or other site design amenities that improves the quality of the community and its relationship to surrounding areas. Pedestrian connections shall be accounted for on all internal streets or at greater intervals through a trail or path system.
  5. A common storage and utility area shall be provided within the plan including at least 100 square feet per unit. This area may be used for storage of large equipment, recreational vehicles, maintenance or other utility functions for the community. This area shall be screened from the project and from surrounding property according to the landscape standards in Article 8.
- f. **Building Design.**

1. All dwellings shall have a front entry feature, such as a porch, stoop, or outside patio relating the home site to the lot frontage or other common open space upon which the dwelling is located.
2. Parking spaces on a home site shall be located to the side or rear of the dwelling. Home sites may include a carport, provided it remains open and unenclosed on at least 75% of the perimeter, is no taller than the dwelling unit, is no larger than 400 square feet, but in no case larger than the dwelling unit.
3. Any mobile home or similar non-foundational dwellings shall:
  - a. Be secured to the ground by tie downs and ground anchors in accordance with the applicable building code;
  - b. Be skirted within 14 days after placement in the community by enclosing the open area under the unit with a material that is compatible with the exterior finish of the dwelling and consistent with the quality of development in the community.
  - e. Be located on a hard surface pad with a minimum of 18-inch concrete ribbons or slabs capable of carrying the weight and of sufficient length to support all blocking points, with a proper surface between to control weeds.
- g. **Landscape and Parking Design.** The standards of Chapters 7 and 8 are generally applicable to R-MH district development plans, except as modified through a development plan based on the approval procedures and criteria in Section 24-204 or 24-205.
- h. **Subdivisions.** Each home site may be individually platted if:
  1. All lots shall have public utility access as provided in Chapter 3, including public easements for access to each home site and all other standards and criteria of the subdivision standards are met;
  2. All dwellings are on a permanent foundation or affixed to a permanent slab; and
  3. There are covenants and restrictions assuring that all provisions of this section and the approved development plan, will be maintained through a management entity or common association.

***Reserved Sections 24-507 through 24-600***